



COMMUNITY DEVELOPMENT PERMIT SUPPLEMENTAL DOCUMENTS CHECKLIST

**Please Note: Permits cannot be processed without all the necessary documentation. Incomplete permit applications will either be denied at the front counter, or will be place on hold until all information is received, prolonging the permit approval process. It is the applicant's responsibility to submit all necessary supplemental documents and information for the submitted permit.*

PERGOLA, GAZEBO, CANOPY - RESIDENTIAL: (ALL listed are REQUIRED, unless not applicable)

- ☐ Building Permit Application, all information needs to be complete.
- ☐ Plat of Survey indicating the proposed site and size of the Pergola/Gazebo/Canopy.
- ☐ Permit Addendum – Pergola, Gazebo & Canopy – Residential, signed.
- ☐ Easement Encroachment Agreement, signed, when applicable.
Accessory structures are not allowed to be built on easements; however, if unique circumstances make it impossible to avoid encroaching on an easement an exemption may be requested. An exemption requires written letters from all utility companies approving the proposed accessory structure to encroach on the easement. Accessory structures are not considered a removable structure and utility companies need to approve the proposed plans. There is no guarantee that the utility companies will allow an accessory structure on the Easement.
- ☐ Letter of Approval from the homeowner's association, when applicable.
- ☐ Plans and details indicating all dimensions for the pergola, gazebo canopy, including the size and spacing of all structural members (piers, posts, beams, joists) and structural fasteners.
- ☐ Contractors Registration with bond, for those not already **licensed** and **bonded** with the Village.

I attest that I have submitted all information as required above regarding the permit applied for at:

_____ Glendale Heights, IL 60139

_____ Name (Printed)

_____ Signature

_____ Date



VILLAGE OF GLENDALE HEIGHTS
300 Civic Center Plaza
Glendale Heights, Illinois 60139
Community Development Department
(630) 260-6030

BUILDING PERMIT APPLICATION
(Please Print CLEARLY)

DATE: _____

PROPERTY ADDRESS: _____ GLENDALE HEIGHTS, IL 60139

APPLICANT NAME: _____

APPLICANT ADDRESS: _____

APPLICANT PHONE NUMBER: _____

APPLICANT EMAIL ADDRESS: _____

IS THIS A: ☐ SINGLE FAMILY ☐ DUPLEX ☐ TOWNHOUSE ☐ MULTI-FAMILY

EST. CONST. COST: \$ _____ HOMEOWNERS ASSOC. ☐ YES ☐ NO

CHECK ONE:

- | | | | | |
|--------------------------------------|----------------------------------|-----------------------------------|---|--------------------------------|
| <input type="checkbox"/> NEW CONST. | <input type="checkbox"/> ROOFING | <input type="checkbox"/> PLUMBING | <input type="checkbox"/> PATIO | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> ADDITION | <input type="checkbox"/> SIDING | <input type="checkbox"/> HVAC | <input type="checkbox"/> SIDEWALK | <input type="checkbox"/> SHED |
| <input type="checkbox"/> REMODEL | <input type="checkbox"/> WINDOWS | <input type="checkbox"/> ELECTRIC | <input type="checkbox"/> DRIVEWAY | <input type="checkbox"/> DECK |
| <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> DOORS | | <input type="checkbox"/> DRIVEWAY APRON | |
| <input type="checkbox"/> OTHER _____ | | | <input type="checkbox"/> OTHER PAVEMENT | |

SCOPE OF WORK/DESCRIPTION: _____

****ATTACH PLANS, DIAGRAMS, PHOTOS AND ADDITIONAL NARRATIVE AS REQUIRED**

Name	Address	Phone Number
OWNER: _____	_____	_____
OCCUPANT: _____	_____	_____
ARCHITECT: _____	_____	_____
ENGINEER: _____	_____	_____
GEN. CONT.: _____	_____	_____
PLUMBING: _____	_____	_____
ELECTRIC: _____	_____	_____
OTHER: _____	_____	_____
OTHER: _____	_____	_____

☐ SHEET ATTACHED WITH ADDITIONAL CONTRACTORS

This application must be signed by the Owner of the property or his/her duly authorized agent. UNDER PENALTIES OF INTENTIONAL MISREPRESENTATION AND/OR PERJURY, I declare that I have examined and/or made this application and it is true and correct to the best of my knowledge and belief. I agree to construct such improvements in compliance with all regulation of applicable codes of the Village of Glendale Heights. Issuance of the permit herein applied for and approval of all supporting plans and documents in connection therewith shall not be construed to permit any construction on said premises or use thereof in violation of any applicable codes or regulations of the Village of Glendale Heights or to excuse the owner of his/her successors in title from complying therewith. Applicant further agrees to pay the cost incurred by the Village for review of all supporting plans and documents by the Administrative Staff, Village Engineer, Village Attorney, and any outside consultants as may be required to fulfill the provisions of Village Ordinances. This permit may be revoked at any time upon determination that a violation exists.

NAME/TITLE (Print) _____

DIR. OF COMM. DEVELOPMENT: _____

SIGNATURE OF APPLICANT _____

DATE APPROVED: _____

DO NOT WRITE IN THIS SPACE

Permit No.: _____

Date Issued: _____

Permit Expires: _____

Zoning District: _____

Initial Deposit: _____

Construction: _____

Fire Protection: _____

Site Improvement: _____

Sewer Connection: _____

Water Connection: _____

Water Meter: _____

Penalty: _____

Building Deposit: _____

Engineering Deposit: _____

Permit Fee: _____

Required Deposit: _____

TOTAL FEE: _____



A PROUD & PROGRESSIVE
VILLAGE FOR ALL PEOPLE

**Registrations will not be accepted
unless completed in full.**

***Plumbing, Roofing, Alarm and Sprinkler contractors
must submit a copy of their State License.**

***Electricians must submit a copy of their Municipal
License**

OFFICE USE ONLY

LICENSE NUMBER: _____

DATE ISSUED: _____

FEE RECEIVED: \$ _____

CONTRACTOR REGISTRATION

Type of Contractor (General, Concrete, Carpentry, Electrician, etc.): _____

Company Name: _____

Company Address: _____

Company City: _____ **State:** _____ **Zip Code:** _____

Company Phone: _____ **Emergency Contact Phone:** _____

State/City License #: _____ **Expiration Date:** _____

**NO REGISTRATION SHALL BECOME EFFECTIVE UNTIL SUCH DATE AS THE REQUIRED SURETY
BOND IS ON FILE WITH THIS DEPARTMENT.**

Bond #: _____ **Expiration Date:** _____

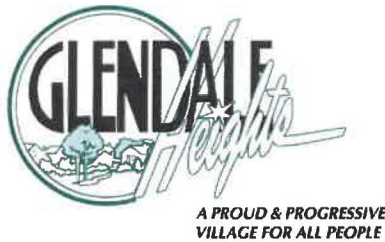
Signature of Applicant: _____ **Date:** _____

FEE:

General Contractor	\$100
Plumber/Electrician/Alarm	N/A
All other Subcontractors	\$50

BOND:

All trades, except those listed below	\$20,000
Plumbing, Fire Alarm, Fire Sprinkler	N/A



PERMIT ADDENDUM – RESIDENTIAL PERGOLAS, GAZEBOS & CANOPIES

PERMIT _____ DATE _____

ADDRESS _____

Permit approval is subject to the following conditions:

DEFINITIONS

ACCESSORY STRUCTURE = A structure that is located on the same lot as, and compatible with, the principal structure and serves a purpose customarily subordinate to that of the principal structure (includes canopies, gazebos, pergolas, decks, fences, sheds, etc.)

CANOPY (or Awning) = A roof-like structure, attached on one or more sides to the residence, open on the other sides. (May consist of canvas over frame.)

GAZEBO = A freestanding roofed structure, open on the sides.

PERGOLA = A structure consisting of vertical posts supporting an open roof of girders and cross rafters. May be freestanding or attached to the residence.

PORTICO = A gazebo-like structure, but attached to the residence on one side.

GENERAL / BUILDING

1. All work shall comply with all applicable codes as adopted and amended by the Village of Glendale Heights, including but not limited to:
 - Village of Glendale Heights Zoning Ordinance
 - 2006 International Residential Code
2. Gazebos and pergolas may only be located in the rear yard. Canopies and porticos may be located in any yard, subject to dimensional restrictions.
3. Accessory structures shall not exceed 17 feet (or one story) in height.
4. Accessory structures must be setback as follows:
 - a. At least 3 feet from all property lines, and
 - b. At least 5 feet from all other structures (unless attached to the principal building) if over 200 square feet, and
 - c. Cannot be built on or over any utility or drainage easements
5. Accessory structures with solid roofs (canopies, gazebos) must be capable of resisting loads (snow, wind, etc.) and comply with the code requirements for the material used (asphalt shingles, etc.)
6. Each structural support/post shall be sufficiently anchored to the ground to prevent uplift.
7. Approved construction documents must be present and available at inspections.
8. Remove all excavated spoils (unless approved by the Village Engineer)

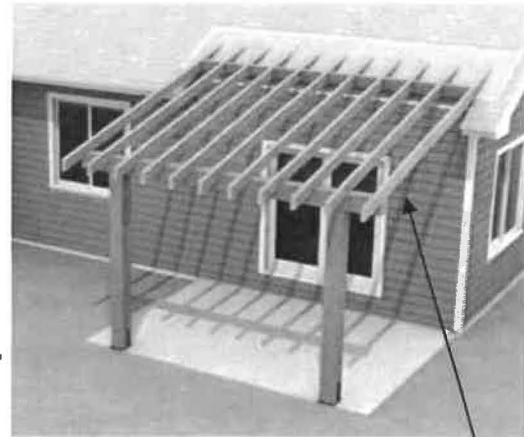
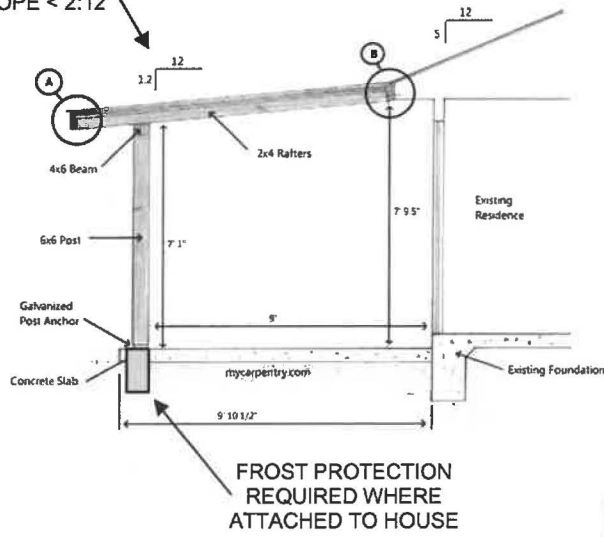
PERMIT ADDENDUM – RESIDENTIAL PERGOLAS, GAZEBOS & CANOPIES

PERMIT _____

ADDRESS _____

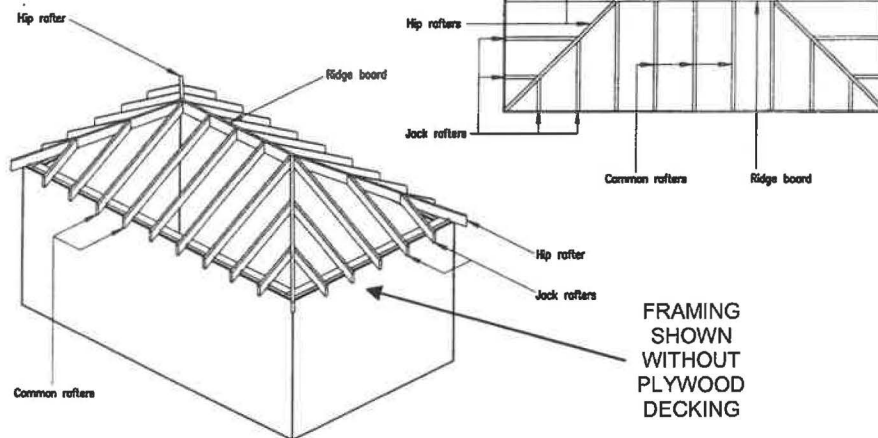
NO SHINGLES FOR
ROOF SLOPE < 2:12

CANOPY examples



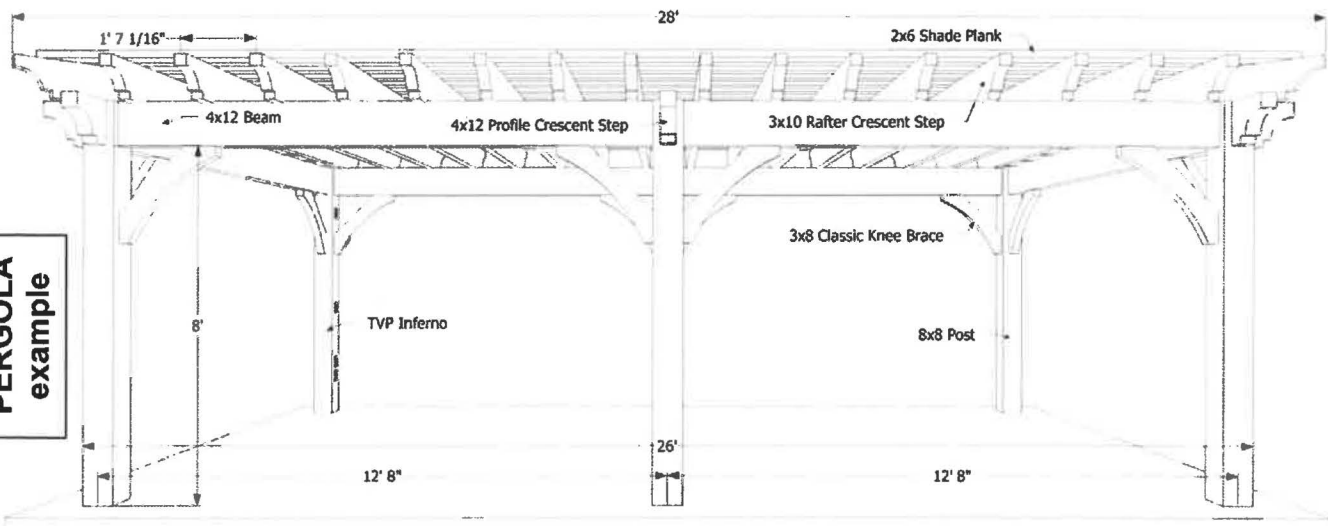
FRAMING
SHOWN
WITHOUT
PLYWOOD
DECKING

GAZEBO example



FRAMING
SHOWN
WITHOUT
PLYWOOD
DECKING

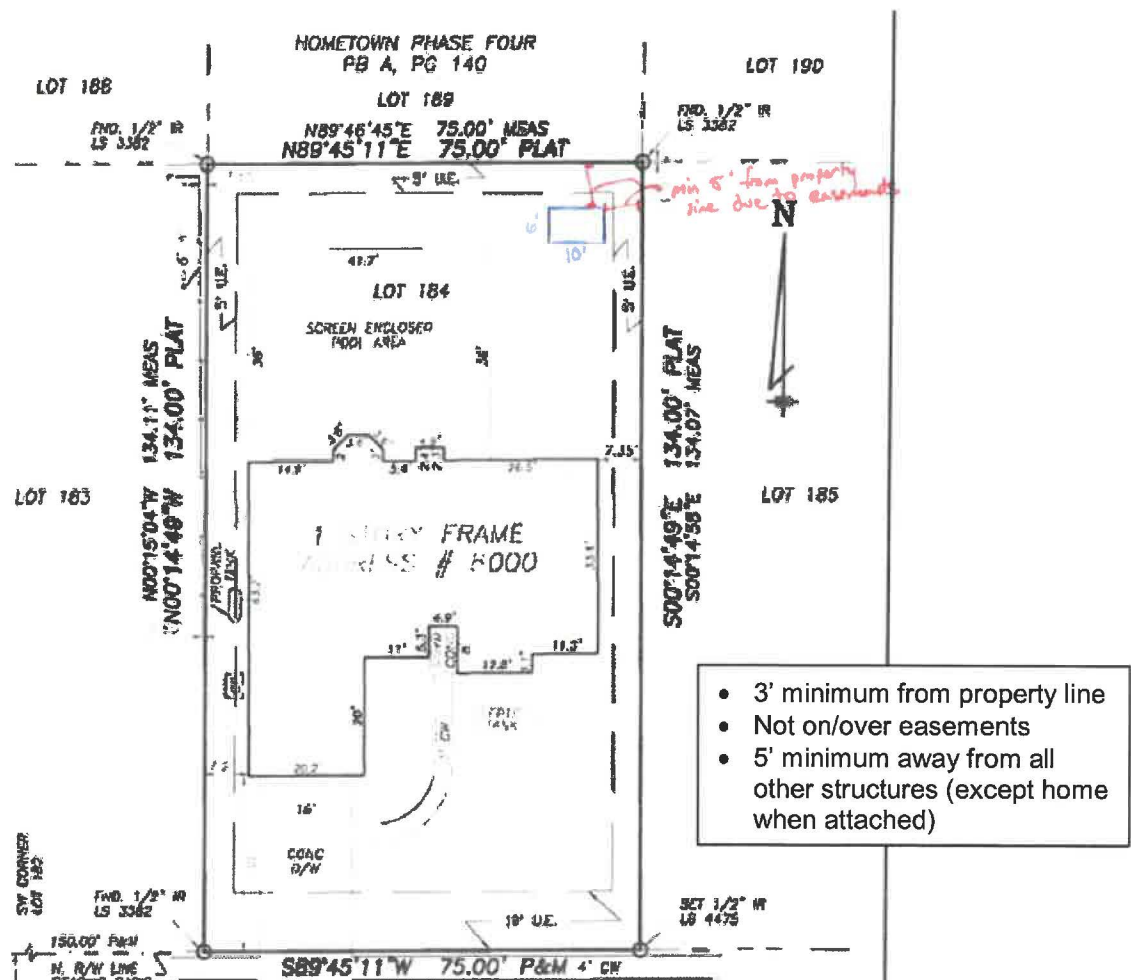
PERGOLA example



PERMIT _____

ADDRESS _____

Example of a Plat of Survey marked with size and location of accessory structure:



Contact JULIE before any digging (Call 8-1-1)

This handout identifies many, but not all, of the most common code requirements that apply to accessory structures. It is not a comprehensive list of all code requirements, nor is it intended to take the place of a thorough inspection.

I hereby certify that I have read and understand all of the above regulations, and I agree to comply with all of the regulations contained herein.

Signature

Date _____