

PERMIT CHECK LIST

- Permit application
- A plat of survey showing the proposed location of the deck with dimensions
- Detailed drawing of the deck with dimensions
- A letter of approval from home owner association, if applicable
- Name and address of **licensed** and **bonded** contractor installing the deck.
- Call J.U.L.I.E. 1-800-892-0123

YOUR PERMIT WILL NOT BE PROCESSED WITHOUT **ALL** OF THE ABOVE ITEMS. **PLEASE ALLOW A MINIMUM OF FIVE WORKING DAYS FOR INITIAL PERMIT REVIEW.**

INSPECTIONS

Construction of a deck will require at least two inspections: a footing inspection, and a final inspection. Also if applicable, an electrical and/or plumbing inspection will be required. **A 24 hour advanced notice is required prior to all inspections.** The appointment for this inspection can be scheduled by calling the Department of Community Development at (630) 260-6030.

FINAL NOTE

Please remember that once installed, your deck is required to be kept maintained. Surface coatings are expected to be maintained free from loose and flaking paint chips. Damaged or worn components require proper replacement or repairs.

**Mission Statement**

The Glendale Heights Department of Community Development strives to provide professional assistance in planning, development and construction by adopting and enforcing current codes and standards in a uniform and unbiased manner, in order to establish and maintain a safe, healthy and attractive community for all residents and business owners.

Village of Glendale Heights

**Department of Community Development**

300 Civic Center Plaza  
Glendale Heights, IL 60139  
Phone (630) 260-6030  
Fax (630) 260-1317

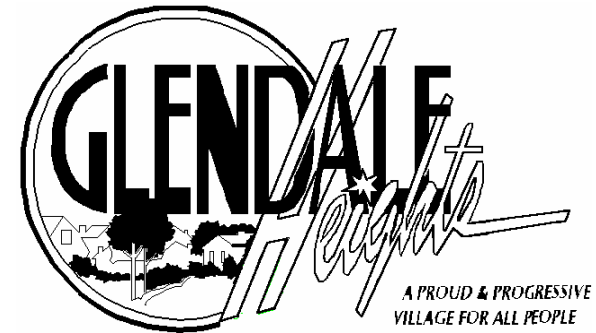
This brochure contains general information and is not to be used for interpretation of actual village codes. Please contact the Department of Community Development during regular business hours regarding specific questions.



**VILLAGE OF GLENDALE HEIGHTS**

**DEPARTMENT OF COMMUNITY DEVELOPMENT**

*Decks*



**➔ ATTENTION!**

THIS BROCHURE CONTAINS TWO SHEETS, PLEASE MAKE SURE YOU HAVE BOTH THE INFORMATION SHEET AS WELL AS THE ILLUSTRATIONAL SHEET

## BUILDING PERMITS

Permits are required prior to the construction of a deck and require the following documents: 1) Building permit application 2) Plat of survey showing the proposed location of the deck with dimensions and distance to all lot lines 3) A detailed construction drawing of the deck consisting of the following parts: footings, post, beams, joist, decking, stairs and railings (see attached minimum construction specifications). 4) A letter of approval from your homeowners association if applicable 5) Name, address and phone number of contractor installing the deck. All contractors must be bonded and licensed with the Village of Glendale Heights before any permits are issued **Permit approval requires a minimum of five working days.** Call J.U.L.I.E. at 1-800-892-0123 prior to any digging.

## BUILDING CODES

All construction is required to comply with the 2000 International Residential Code. Any electrical work shall comply with the 1999 National Electrical Code. Gas appliance installations shall comply with the 2000 International Fuel Gas Code.

## SETBACKS

Decks are permitted in rear yards only and must be set back a minimum of 3 feet from all lot lines and completely off all utility and drainage easements.

Open porches are permitted in front yards, not covering more than 20% of the required front yard or more than 20% of actual front yard if it is less than the required front yard.

## FROST FOOTINGS

Are required for any deck attached to a dwelling, porch, or garage that has frost footings. The minimum depth to the base of the footing is 42 inches below grade and a minimum of 8 inches wide.

## LIVE LOAD

All decks shall be designed to support a live load of 40 pounds per square foot.

## FRAMING DETAIL

Header beams and joist that frame into ledgers or beams shall be supported by approved framing anchors such as joist hangers.

## ATTACHING TO THE HOUSE

All connections between the deck and dwelling shall be weatherproofed. Any cuts shall be flashed. Joists must be attached to the house strip attached to the house. Ledger board should be attached to the house with a minimum 3/8" lag bolts long enough to penetrate fully into the rim joist or other backing inside the wall. Any cuts in the exterior finish shall be flashed.

## CANTILEVERS, OVERHANGING JOIST AND BEAMS

Joist should not overhang beams by more than two feet, nor should beams overhang post by more than one foot unless a special design is approved.

## NAILS & SCREWS

Use only stainless, high strength aluminum or hot-dipped galvanized.

## MATERIALS REQUIRED

All exposed wood used in the construction of decks is required to be of approved wood of natural resistance to decay (redwood, cedar, etc.) or approved treated wood. This includes post, beams, joist, decking and railings.

## STAIRS

Minimum width is 36 inches. Stairs shall have a maximum 7 3/4" risers and a minimum 10" treads.

## HANDRAILS

Handrails are required with stairways having more than two risers. The top shall be not less than 34 inches or more than 38 inches above the nosing of the tread. Handrail ends shall be returned or terminated in posts. The hand grip shall not be less than 1 1/4 inches or more than 2 inches in cross sectional dimension or the shape shall provide an equivalent gripping surface with no sharp corners.

## GUARDRAILS

Guardrails are required on all decks more than 30 inches above grade or other lower surface. Rail must be 36 inches minimum height. Open guardrails and stair railings must have intermediate rails that a four inch sphere cannot pass through.

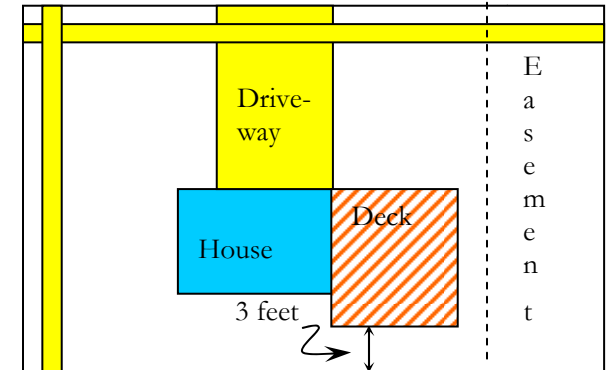
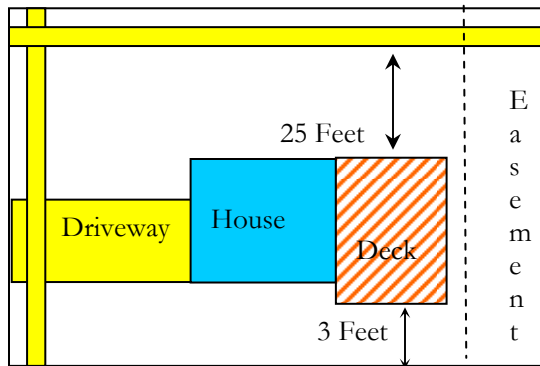
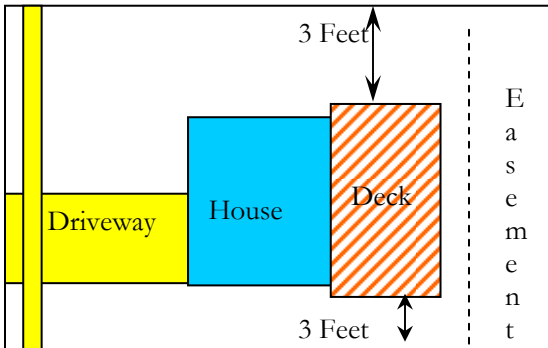
Recommended Spans for Spacing Deck Boards				
On Edge	Laid Flat			
2x4	5/4"x4"	5/4"x6"	2"x4"	2"x6"
48"	16"	24"	16"	24"

Minimum Post Size Spacing Between					
Height (ft)	48"	72"	96"	120"	144"
UP to 6'	4x4	4x4	6x6	6x6	6x6
Up to 9'	6x6	6x6	6x6	6x6	6x6

Spacing between post	Minimum Beam Sizes						
	House to Beam or Beam to Beam						
	4'	5'	6'	7'	8'	9'	10'
6'	4x6	4x6	4x6	4x8	4x8	4x8	4x10
7'	4x8	4x8	4x8	4x8	4x8	4x10	4x10
8'	4x8	4x8	4x8	4x10	4x10	4x10	4x12
9'	4x8	4x8	4x10	4x10	4x10	4x12	*
10'	4x8	4x10	4x10	4x12	4x12	*	*
11'	4x10	4x10	4x12	4x12	*	*	*
12'	4x10	4x12	4x12	4x12	*	*	*

Maximum Allowable Spans for Deck Joist			
Joist Size	12" OC	16" OC	24" OC
2x6	10'-9"	9'-9"	8'-6"
2x8	14'-2"	12'-10"	11'-0"
2x10	18'-0"	16'-1"	13'-5"
2x12	21'-9"	19'-0"	15'-4"

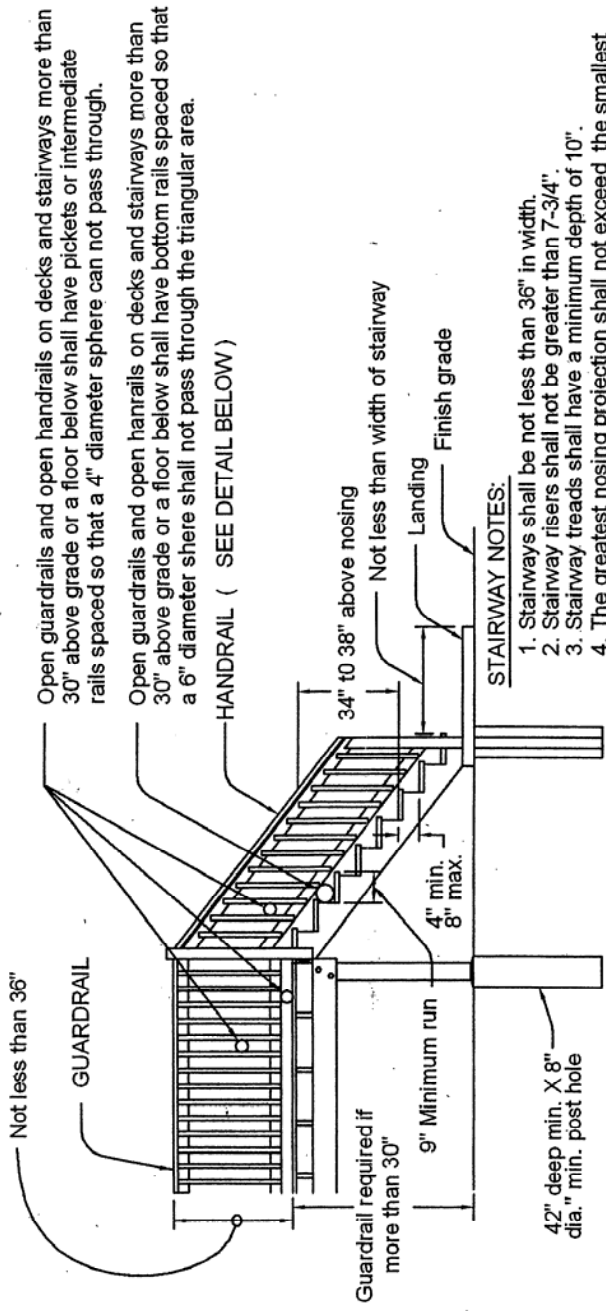
The following diagrams show the permitted location of residential decks. Please allow proper clearance of overhead utility lines.



ILLUSTRATIONAL SHEET

**HANDRAIL NOTES:**

1. Handrail shall be continuous on at least one side of stairs with two or more risers.
2. Handrails shall be placed not less than 34" or more than 38" above stair nosing.
3. The handgrip portion of handrails shall not be less than 1-1/4" nor more than 2-5/8" in dimension.
4. Hand rails shall be placed not less than 1-1/2" from any wall or other surface.

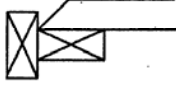


**STAIRWAY NOTES:**

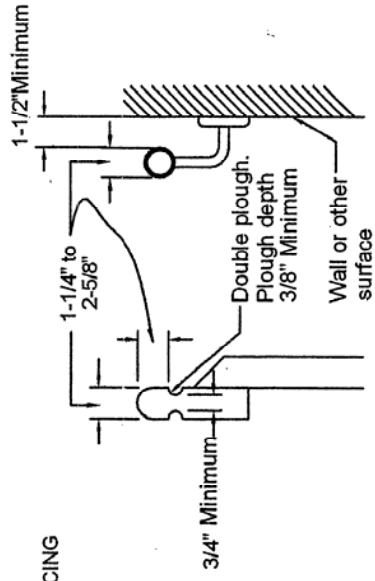
1. Stairways shall be not less than 36" in width.
2. Stairway risers shall not be greater than 7-3/4".
3. Stairway treads shall have a minimum depth of 10".
4. The greatest nosing projection shall not exceed the smallest nosing projection by more than 3/8 inch.

**STAIRS, GUARDRAIL AND HANDRAIL DETAILS**

DO NOT SCALE

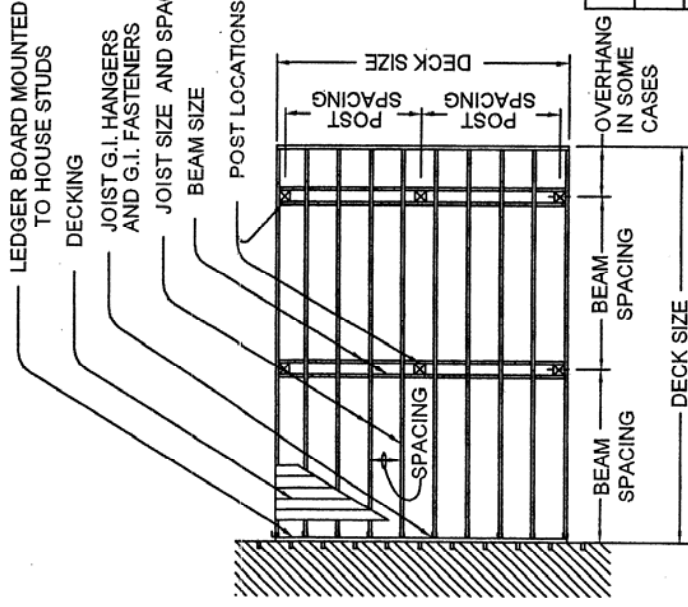


**NOT ACCEPTABLE HANDRAIL**



**ACCEPTABLE HANDRAIL DETAIL**

DO NOT SCALE



**SAMPLE TOP VIEW**

DO NOT SCALE

<b>VILLAGE OF GLENDALE HEIGHTS</b>	
<b>NEW DECK CONSTRUCTION DETAILS</b>	
PREPARED BY: COMMUNITY DEVELOPMENT DEPT.	
DATE: FEBRUARY 2, 2004	DRAWN: A. G. DILAN
CHECKED: D.E. & J.T. APPROVED: J. M. OLSEN	